



# Inspection Report

**Mr Buyer**

**Property Address:**

Buyers Row  
Our Town TX

**Bill Harvey Inspection Services  
13119 Jasper Lane  
Cypress TX 77429  
281-477-7875**

# PROPERTY INSPECTION REPORT

**Prepared For:** Mr Buyer  
(Name of Client)

**Concerning:** Buyers Row, Our Town, TX  
(Address or Other Identification of Inspected Property)

**By:** Sean Kennedy #22935 Bill Harvey #5648 9/4/2020  
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

## PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standard for inspections by TREC Licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers.

Promulgated by the Texas Real Estate Commission(TREC) P.O. Box 12188, Austin, TX 78711-2188 (512)936-3000  
(<http://www.trec.state.tx.us>).

You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

---

---

**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:**

**Type of building:**

Single family, two story, with attached garage

**In Attendance:**

Customer

**Approximate age of building:**

Under 5 Years

**Home faces (general direction):**

West

**Home is:**

Vacant

**Temperature:**

80 to 90 degrees

**Weather:**

Light Rain, Heavy Rain

**Rain in last 3 days:**

Yes

# Table of Contents

<a href="#">Cover Page.....</a>	<a href="#">1</a>
<a href="#">Table of Contents.....</a>	<a href="#">5</a>
<a href="#">I STRUCTURAL SYSTEMS.....</a>	<a href="#">6</a>
<a href="#">II ELECTRICAL SYSTEMS.....</a>	<a href="#">20</a>
<a href="#">III HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS .....</a>	<a href="#">26</a>
<a href="#">IV PLUMBING SYSTEM.....</a>	<a href="#">33</a>
<a href="#">V APPLIANCES.....</a>	<a href="#">37</a>
<a href="#">Intro Page .....</a>	<a href="#">39</a>
<a href="#">Summary.....</a>	<a href="#">40</a>

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

**I. STRUCTURAL SYSTEMS**    **A. Foundations****Type of Foundation (s):** Post tension slab on grade

Comments:

An elevation survey of the foundation was performed using a Zip Level. This survey is general in nature and does not meet a particular standard.

- The benchmark was taken at the center of the compass rose in the entry hall. Floor covering tile.
- A reading of - 0. 6 inches was taken at the northwest corner of the kitchen. Floor covering wood.
- A reading of - 0. 1 inches was taken at the center of the west wall of the dining room. Floor covering wood.
- A reading of - 0. 3 inches was taken at the front entrance. Floor covering wood.
- A reading of + 0. 0 inches was taken at the southwest corner of the study. Floor covering wood.
- A reading of - 0. 3 inches was taken at the center of the south wall of the octagon sitting room. Floor covering wood.
- A reading of + 0. 3 inches was taken at the southwest corner of the master bedroom. Floor covering carpet.
- A reading of + 0. 0 inches was taken at the southwest corner of the master bathroom. Floor covering tile.
- A reading of + 0. 4 inches was taken at the southeast corner of the home. Floor covering carpet.
- A reading of + 0. 6 inches was taken at the northeast corner of the master bedroom closet. Floor covering carpet.
- A reading of + 0. 2 inches was taken at the northeast corner of the master bedroom. Floor covering carpet.
- A reading of + 0. 2 inches was taken at the exterior entrance to the master bedroom. Floor covering carpet.
- A reading of - 0. 5 inches was taken at the northeast corner of the pantry. Floor covering wood.
- A reading of - 0. 1 inches was taken at the southwest corner of the family room. Floor covering wood.
- A reading of - 0. 3 inches was taken at the southeast corner of the family room. Floor covering wood.
- A reading of - 0. 2 inches was taken at the northeast corner of the family room. Floor covering wood.
- A reading of + 0. 2 inches was taken at the northeast corner of the home. Floor covering carpet.
- A reading of - 0. 4 inches was taken at the northwest corner of the laundry room. Floor covering tile.
- A reading of - 0. 4 inches was taken at the garage entrance. Floor covering wood.
- A reading of - 6 . 6 inches was taken at the northeast corner of the garage. Floor covering N/A.
- A reading of - 6 . 0 inches was taken at the northwest corner of the garage. Floor covering N/A.

    **B. Grading and Drainage**

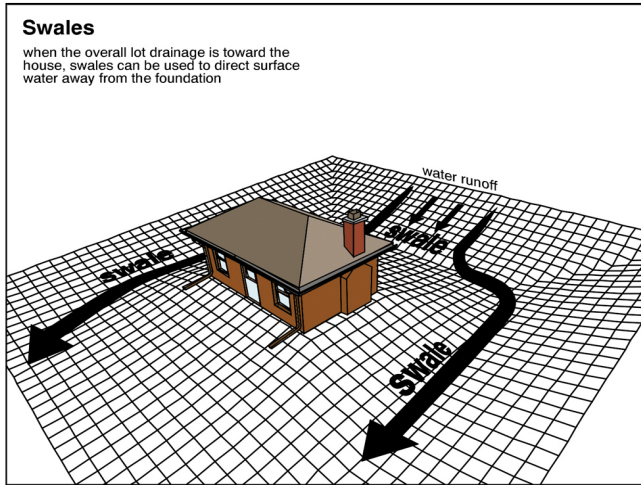
Comments:

- Grade improvements are needed to direct run off away from the foundation at the left side and rear of the home. Code requires six inches minimum of fall from the foundation in the first ten feet

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

of grade. Improper grading may promote unstable foundation conditions and water penetration into the home. Improvements should be undertaken by professional landscaper.



Swale ILLUS



- Soil erosion from runoff from the roof at the rear of the home was observed. It is recommend to make improvements, such as gutters or landscape design, to control the runoff and limit soil erosion.





I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
---	----	----	---

**C. Roof Covering Materials**

**Roof viewed from:** Ladder

**Types of roof covering:** Tile

**Roof decking:** OSB, Plywood

Comments:

- The roof covering was inspected from two locations from the eve from a ladder. Rain began falling and further inspection was not possible. The roof covering appears to good overall condition. Condition requiring repair were not observed.

**D. Roof Structures and Attics**

**Attic access information:** Pull down stairs, Scuttle hole

**Method used to observe attic:** Entered attic and viewed from accessible and reasonable safe locations

**Roof structure:** Stick-built (rafters, ceiling joist and purlins), 2 X 8 Rafters

**Lumber species / grade:** No2 Yellow Pine

**Approximate depth of ceiling insulation (Deepest Point):** 0 inches

**Approximate average thickness of vertical insulation:** 6 inches

Comments:

- Attic framing appears to be installed and functioning as intended with no major defects observed.
- The attic space is not insulated. The insulation was never installed.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



above master suite

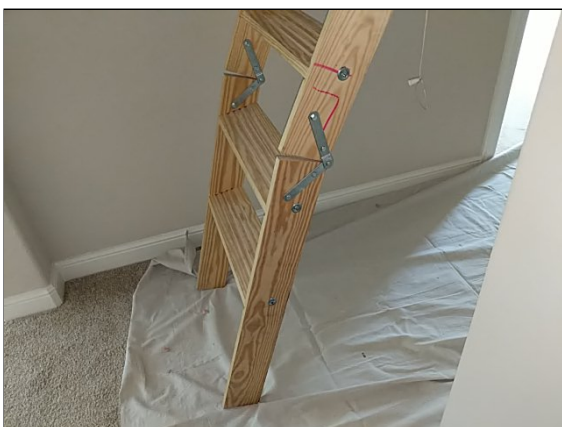


above study



Upper attic area

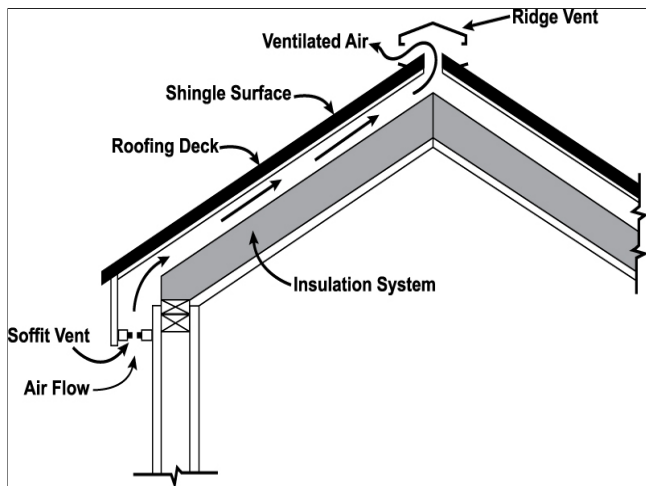
- The bottom section of the folding attic stairway is cut to an improper length. This condition places additional stress on the ladder system making it unsafe to use. Repairs should be undertaken.



- The attic space has inadequate or missing venting at the roof. Venting is required and necessary to remove heat and humidity from the attic space. A qualified contractor should be consulted.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
---	----	----	---



Attic Venting

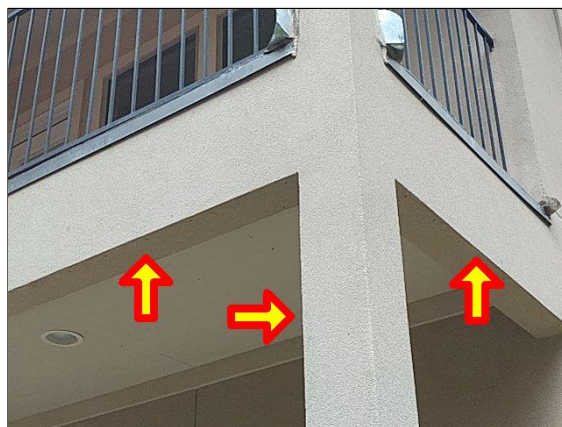
**E. Walls (Interior and Exterior)**

**Exterior wall covering:** Stone veneer, Stucco

Comments:

**Notice**

- The Client should be aware this a limited inspection based on visual observations only, most from ground level. This inspection does not include destructive testing such as substrate moisture testing, or removal of plaster to inspect suspicious areas. It is possible some deficiencies / defects may not be detected.
- **In the Inspectors opinion, some are are in need of further testing.** At minimum, the area under the rear balcony, and the one area at the front should be tested. for excessive moisture or substrate damage. This is considered destructive testing and requires written from the property owner. Testing is performed by drilling two 1/4 of one inch holes at east test location. After the test, the hole are filled with sealant.



Test these areas

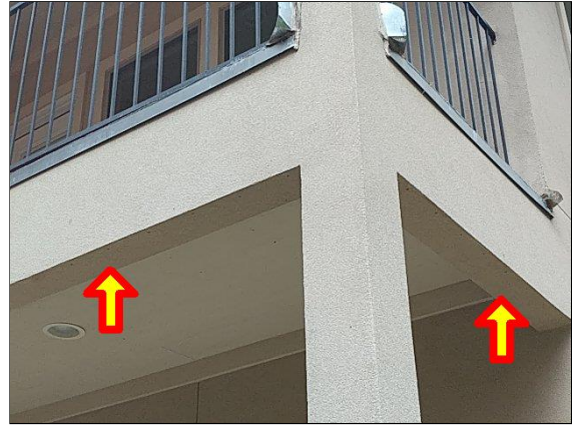
- A moisture relief detail is not installed under the the elevated vertical to horizontal transition at the rear of the home. Moisture relief is needed at the lower edge of elevated walls just as moisture relief is need at walls that terminate near the foundation level. Moisture relief can by

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

created at elevated walls by installing aluminum slotted tracks designed for this purpose, or casing bead can be used to create a small opening. If not repaired structural damage in the wall may occur.

- Cracks have formed on the column below this area suggesting water intrusion into the wall system.



Missing moisture relief detail



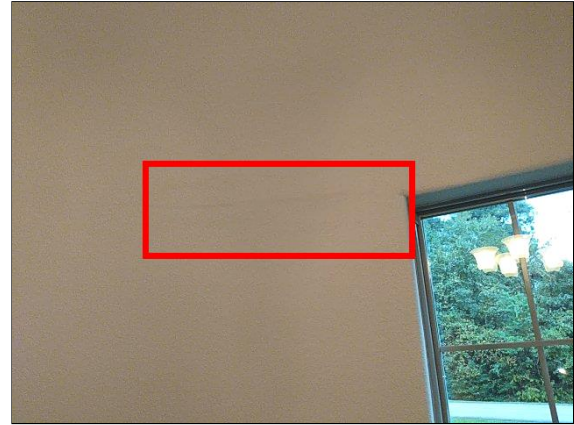
Possible repair

- At the front of the home, the kickout terminates into the window trim band. Terminating the roof edge this close to the window opening can be problematic. What appears to be evidence of water intrusion was observed at the interior.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



- Damaged finish at the master bedroom rear exterior wall needs repair.



- Caulking at windows is failing. Caulking improvements should be undertaken as needed.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



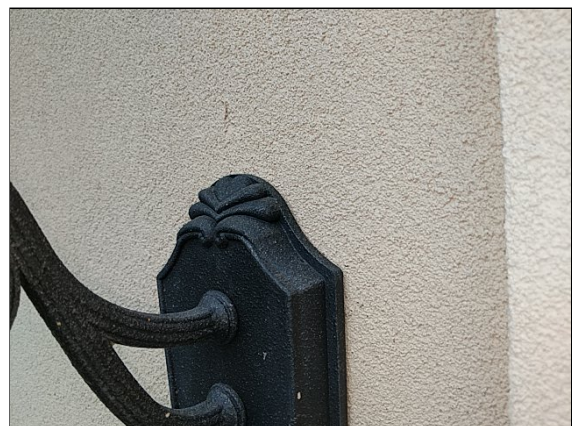
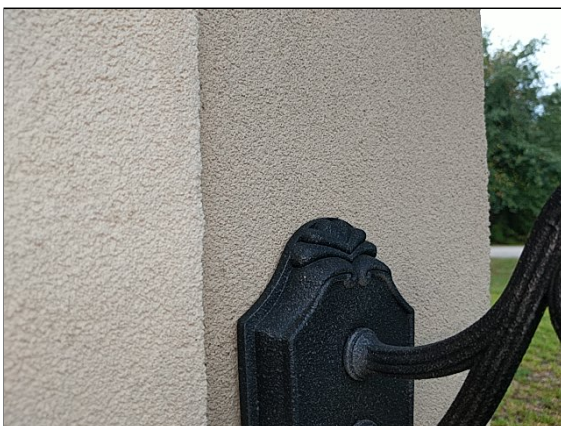


I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



- Caulking at the exterior light(s) is not installed. Caulking improvements should be undertaken as needed.



- Caulking at the vent terminations is not installed. Caulking improvements should be undertaken as needed.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



- Weep holes are not installed where required above the windows and along the masonry ledge at the front of the home. Weep holes should be spaced not further that 33 inches on center. Weep hole openings should be a minimum of 3/16 of one inch in diameter.



- Caulking is ot installed along the top and sides of the electrical panel.

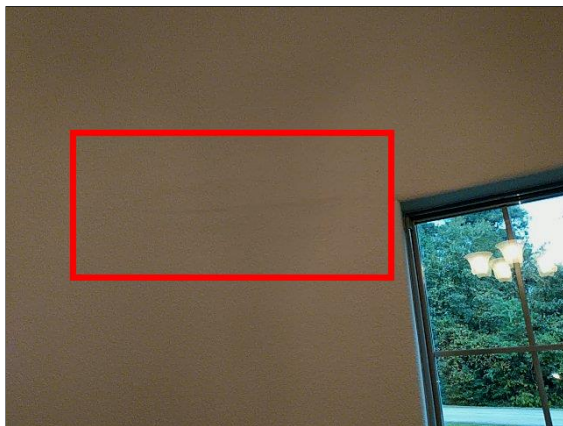


- What appears to be evidence of water intrusion was observed at the walls in the living room.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
---	----	----	---



**F. Ceilings and Floors**

Comments:

**G. Doors (Interior and Exterior)**

Comments:

- The self closing hinges at the garage entry door need adjustment to close the door. Doors between attached garages and living space are required by current standards to be self closing.
- The exterior door at the family room was observed to have the following deficiencies: door does not latch. The door should be adjusted to function properly.



- The interior door at the study has the following defects: door rubs at opposing door when closing.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



H. Windows

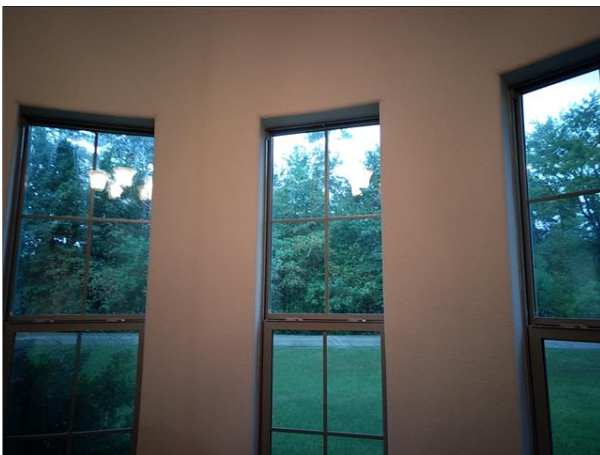
**Window type:** Vinyl / PVC double pane

**Comments:**

- Damaged window hardware in family room was observed.



- The glass at one window(s) in the dining room is cracked.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
---	----	----	---

**I. Stairways (Interior and Exterior)**

Comments:

**J. Fireplaces and Chimneys**

**Types of fireplaces:** Prefab metal fireplace

Comments:

- The fireplace in the family is not suitable to burn wood. The noncombustible hearth does not extend far enough and a chimney to the exterior is not present. The bottom of the firebox is thin gauge metal. and appears to have been poorly modified from its original design. Modifications of the current fireplace will be necessary to configure the fireplace to burn wood or use gas logs . Recommend consulting with a chimney sweep about recommend modifications necessary.



No chimney vent



hearth too small



floor is thin gauge metal

**K. Porches, Balconies, Decks and Carports**

Comments:

### ***Inspector Limitations Regarding Slab on Grade Foundations***

Assessment of foundation performance and condition is based solely upon this Inspectors opinion and his interpretation of the visually observed conditions at the time the inspection was performed without prediction of future performance. Generally, foundation movement occurs over an extended period of time. This inspection is of a first impression nature without the opportunity to monitor possible movement or review documents related to this foundations past performance. This opinion was formed without the knowledge or intent of the design criteria or designer. Previous foundation repairs may not be detected by this inspection. This inspection will not detect or identify plumbing leaks, under ground springs, fault lines, deficient soil conditions, or any other conditions not detectable within the limitations of a visual only inspection. Other inspectors or foundation experts may form a different opinion when assessing the condition of this foundation.

### ***Inspector Limitations Regarding Roof Systems***

Roof systems consist of many components, some of which are not accessible under the best of conditions. The height, pitch, line of sight, and weather conditions at the time of inspection dictate the method of inspection. These conditions often limit the Inspectors ability to inspect a roof system. Detection of defects should only be expected within the reasonable limitations of the method of inspection safely allowable at the time of inspection. Even under the best of condition there is guarantee against leakage.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

## II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

**Main Disconnet Located:** In the main panel

**Main Panel Located:** In the garage

**Electric Panel Manufacturer:** Square D

**Main Breaker Amps:** 200 AMP

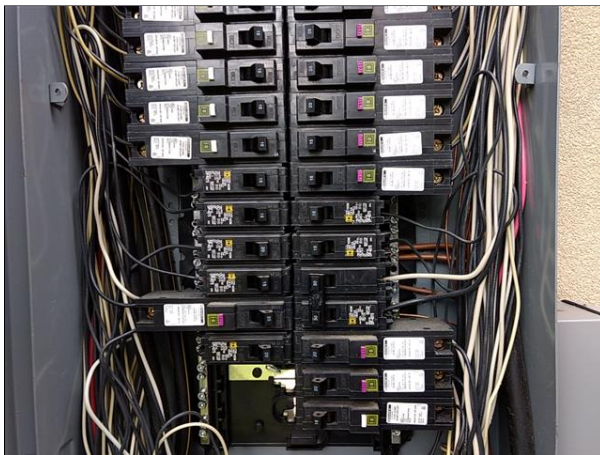
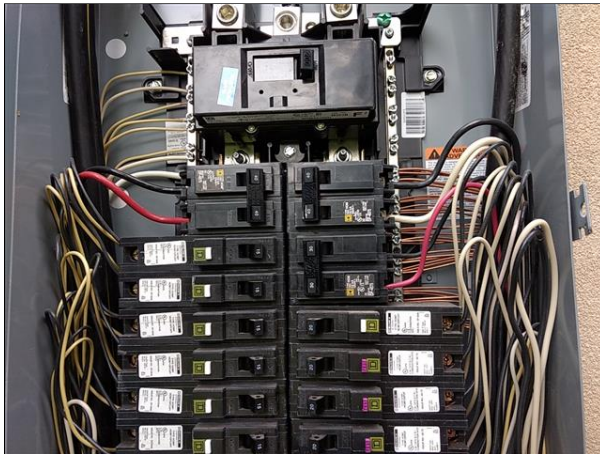
**Electrical Service Conductors:** Below ground

**Feeder wire type:** Aluminum

**Branch wire type:** Copper

Comments:

- The main panel enclosure was inspected with the deadfront removed. Conditions needing repair were observed. These repairs should be performed by a licensed electrician. Additional defects may be discovered when inspected by the licensed electrician.



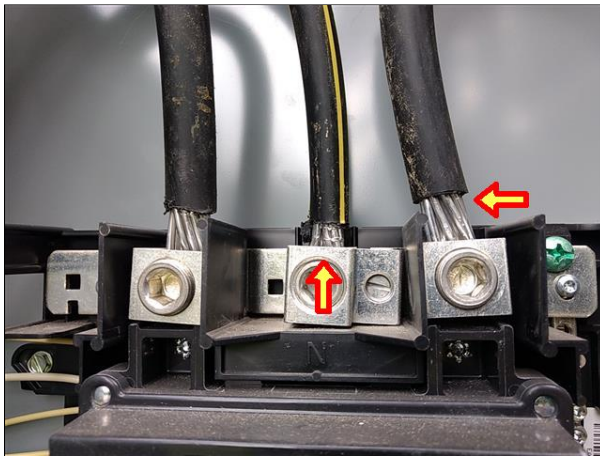
- The arc fault circuit interrupt (AFCI) located at #24 did not trip when tested. Repairs should be made by a licensed electrician.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

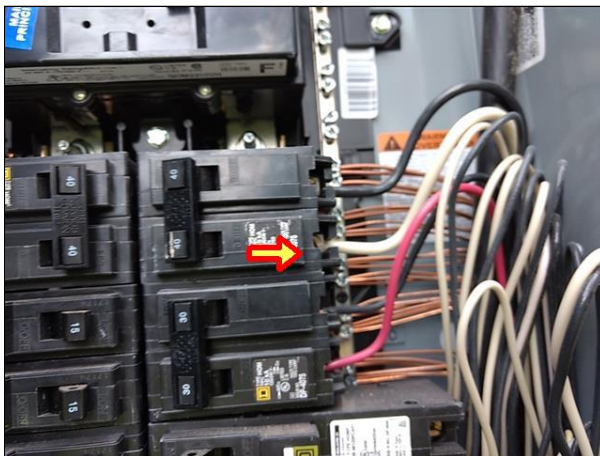
I   NI   NP   D



- Damage service conductors were observed where the sheathing was cut back at the terminal connections. Damaged wires should not have nicks, cuts or other forms of damage.



- "Hot" wires terminating at breakers in the main panel enclosure are improperly colored. These wires should be red or black in color. Marking the wires with a marker is acceptable.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

**B. Branch Circuits, Connected Devices, and Fixtures**

**Type of Wiring:** Romex

**Comments:**

- The receptacle at the kitchen island is installed more than 12 inches below the counter surface.



- Kitchen counter areas that are wider than 12 inches should have a receptacle installed.



- Junction box extension are needed at the kitchen counters to bring the edge of the junction box flush with the edge of the finished wall surface.

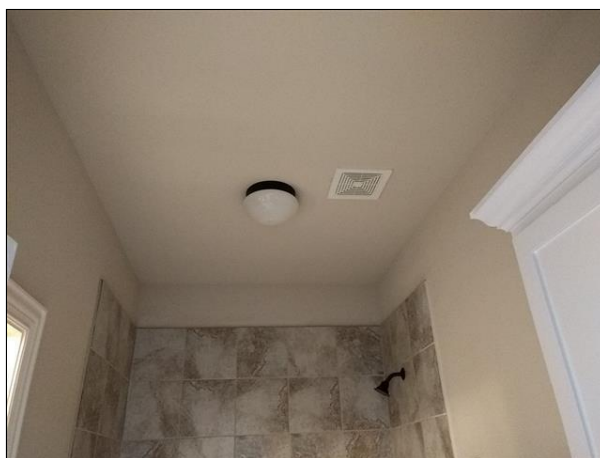


I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



- Four or more light fixture(s) at the rear porch, the garage coach lights, second level bathroom and garage ceiling are inoperative. If the fixture does not work after replacing the bulbs, a licensed electrician should be consulted.



- Two receptacle(s) in the laundry room are not ground fault circuit interrupt (GFCI) protected. This condition is safety hazard that should be repaired.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

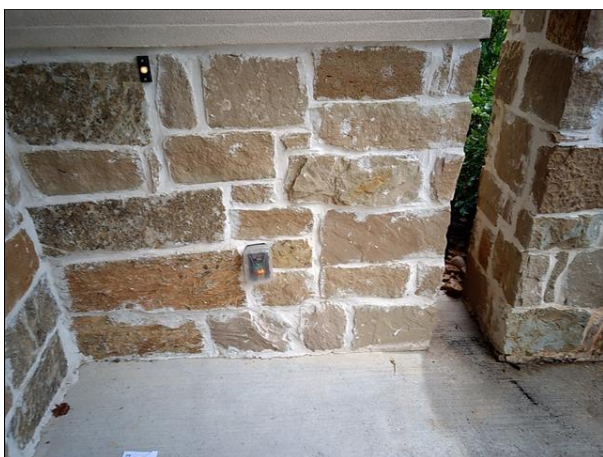
I   NI   NP   D



- One switch in the game room are operated by more than one switch, commonly known as a three way switch. The fixtures on this circuit are inoperable unless the the switches are placed in a particular position. This suggests improper wiring that should be repaired.



- The receptacle(s) at the exterior are not ground fault circuit interrupt (GFCI) protected. This condition is safety hazard that should be repaired.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

- One receptacle(s) in the dining room is(are) inoperative. Repairs should be performed by licensed electrician.



The gas piping is not properly bonded to the grounding system



---

***Inspector Limitations Regarding Electrical Systems***

The electrical system was inspected within the limitations of a visual only inspection. Only reasonably accessible components were inspected. This is not a code inspection to verify the electrical system meets a particular code. Any receptacle not accessible (behind furnishings for example) is considered inaccessible and will not be inspected.

***Information regarding smoke detectors and carbon monoxide detectors .***

Smoke detectors and carbon monoxide detector are important safety features in a home. The Standards of Practice for home inspectors mandated by the Texas Real Estate Commission require the Home Inspector verify the presence of operability of accessible smoke detectors in each sleeping area, outside the sleeping area in the immediate vicinity, and on each level of the home. Carbon monoxide detectors are to tested when installed and accessible. This does not assume that smoke and carbon monoxide detectors meet or exceed a particular code.

Smoke detector batteries should be changed upon taking possession of the home and on a yearly basis there after. Smoke detectors are dated, and should be replaced every ten years. The Home Inspector **does not** remove smoke detectors to inspect for expiration dates.

***Inspector Recommendations Regarding Electrical Systems***

Electrical defects can create significant safety hazards. Electrical repairs should always be performed by a licensed electrician.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

**Forced air gas furnaces:** Two

**Heat System Brand:** Carrier

Comments:

**First Level Heating Unit Photos**



**Second Level Heating Unit Photos**



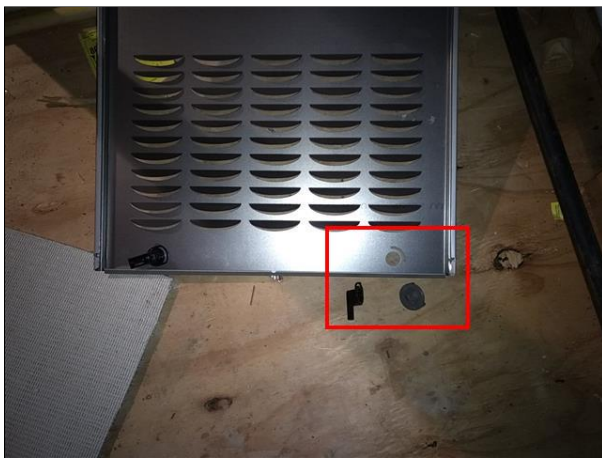
- The furnace were operable at the time of inspection. Though the furnace(s) were operable, some condition needing repair were observed.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



- The locking mechanism for the access panel on the first level furnace does not function correctly. The lock mechanism should be repaired or replaced.



**B. Cooling Equipment**

Comments:

**First Level Cooling Nomenclatures**

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



condenser label



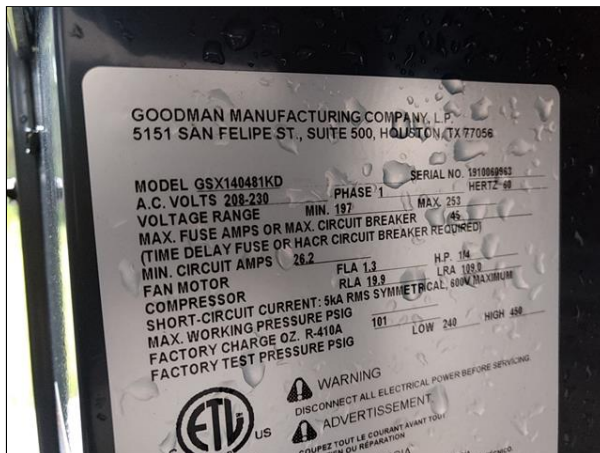
evaporator label

### Second Level Cooling Nomenclatures

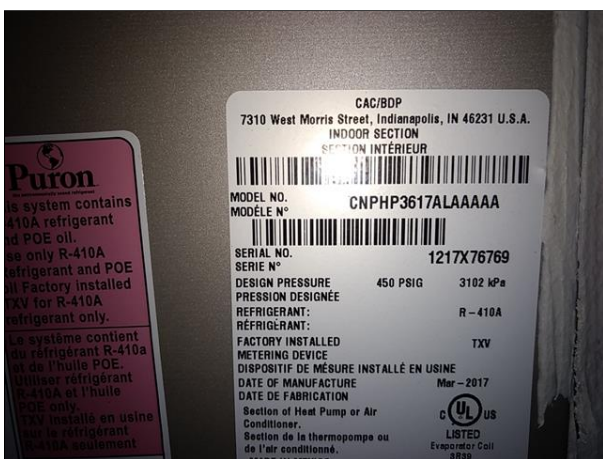


I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



condenser label



evaporator label

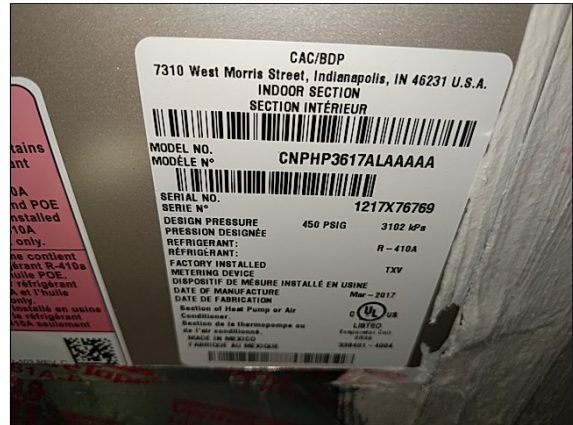
- The equipment manufacturers for the HVAC equipment should be consulted to determined if the various components installed are compatible.
  - First Level: 4 ton Goodman compressor: 5 ton ADP evaporator coil: 20" x 25" media filter: 110,000 Btu/hr Carrier Furnace: 40 amp circuit breaker for condenser
  - Second Level: 4 ton Goodman compressor: 3 ton Carrier evaporator coil: 16" x 25" media filter: 66,000 Btu/hr Carrier Furnace: 30 amp circuit breaker for condenser

**Cooling Nomenclatures**



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
---	----	----	---



- Condensate drains terminate at grade near the foundation. In newer construction it is common for the drains to terminate into a sewer system.



Condensate rain attic not used.

**C. Duct Systems, Chases, and Vents**

**Ductwork:** Flexible duct  
**Filter Type:** Media filter  
**Filter Size:** 16x25, 20x25

Comments:

- The cooling system is equipped with a media filter at the air handler. This eliminates the need for filters in the return air registers. When media filters are installed, using filters with high MERV ratings in the return air registers excessively restricts air flow through the system. This may cause freezing or other complications.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



- The supply ductwork is labeled R6. Per current code ductwork in attics and some other areas are required to be R8 in hot spaces such as attics using the "prescriptive method" prescribed in the International Residential Code. Reference 2012 IRC M1103.2.1. R6 ductwork is acceptable when installed as part of, and specified by an recognized energy conservation design program. Details of the design program must be posted in a designated location. This information was not located at the time of inspection.



- The media filter(s) at the evaporator in the attic is/are dirty. The filter(s) should be replaced.



Report Identification: Buyers Row

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
---	----	----	---

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

## IV. PLUMBING SYSTEM

**A. Plumbing Supply Distribution Systems and Fixtures**

**Location of water meter:** Street

**Location of main water supply valve:** Left Side

**Static water pressure reading:** 62 pounds/square inch

**Water Source:** Public

**Supply Plumbing (inside home):** CPVC

Comments:

*KITCHEN* No visible leaks were observed.

*LAUNDRY ROOM* No visible leaks were observed.

*EXTERIOR PLUMBING* Conditions requiring repair were observed.

- The hose bib(s) at the left side of the home leaks at the valve stem when turned on.



*SECOND LEVEL HALL BATHROOM* No visible leaks were observed. The tub drain trap area was not accessible for inspection. Conditions requiring repair were observed.

- The drain stop at the left and right sink does not function properly
- Caulk / grout improvements are needed at the tub.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



*SECOND LEVEL WET BAR* No visible leaks were observed.

*FIRST LEVEL HALL BATHROOM* No visible leaks were observed.

- Caulk / grout improvements are needed in the shower.



*MASTER BATHROOM* No visible leaks were observed. The tub drain trap area was not accessible for inspection. Conditions requiring repair were observed.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

- The shower basin does not drain adequately. Standing water was observed after the shower faucets have been turned off.



**B. Drains, Waste, and Vents**

**Plumbing Waste:** PVC

Comments:

**C. Water Heating Equipment**

**Water Heater Manufacturer:** American

**Capacity (Water Heater):** 50 Gallon

**Energy Sources:** Gas

**Number of water heaters:** one

**Water Heater Location:** Attic

Comments:

- The drain piping for TPR (temperature / pressure / relief) valve at the water heater is disconnected.



**D. Hydro-Massage Therapy Equipment**

Comments:

- The Hydro-Massage Therapy pump and motor worked properly at time of inspection.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
---	----	----	---

- The components under the whirlpool was not accessible for inspection.

E. Other

Comments:

- The gas piping was not coated to prevent corrosion. Over time leaks could occur.



***Inspector Limitations Regarding Plumbing Systems***

Any plumbing component underground, under the foundation, in the foundation, enclosed in walls, not completely visible, or inaccessible to the Inspector for any reason should not be considered inspected. Water softeners and filters will not be inspected. Shower enclosures and shower pans are inspections are limited to the visual inspection of accessible components. Static testing and or shower pan test were not performed. Removal of floor ad wall coverings to inspect for leaks was not performed. The Inspector cannot comment to the effectiveness of previous repairs.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

## V. APPLIANCES

**A. Dishwashers**

**Dishwasher Brand:** Whirlpool

Comments:

- The dishwasher appears to be properly installed and functioning as intended.

**B. Food Waste Disposers**

**Disposer Brand:** Frigidaire

Comments:

- The food waste disposer appears to be installed and functioning as intended.

**C. Range Hood and Exhaust Systems**

**Exhaust/Range hood:** Zephyr

**Range hood is vented:** to the exterior of the home

Comments:

- The range hood vent duct is missing. The range hood vent should be constructed of rigid metal duct.



**D. Ranges, Cooktops and Ovens**

**Cooktop:** Whirlpool, gas cooktop

**Oven:** Whirlpool, electric oven

Comments:

- The cooktop appears to be properly installed and functioning as intended.
- The oven appears to be properly installed and functioning as intended.

**E. Microwave Ovens**

**Built in Microwave:** Whirlpool

Comments:

- The microwave oven appears to be properly installed and functioning as intended.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
---	----	----	---

**F. Mechanical Exhaust Vents and Bathroom Heaters**

Comments:

- The exhaust fan in the second level hall bathroom is inoperative.

**G. Garage Door Operator(s)**

**Garage door operator brand:** Lift Master

**Number of garage door openers:** one

Comments:

- The garage door opener(s) appear to function properly. The doors reverse automatically when the sensor is activated or the door meets with resistance.

**H. Dryer Exhaust Systems**

Comments:

**I. Other**

Comments:

- The wine cooler appears to be properly installed and functioning as intended.



<b>Date:</b> 9/4/2020	<b>Time:</b>	<b>Report ID:</b> 2649 sk BBH final edit xxx
<b>Property:</b> Buyers Row Our Town TX	<b>Customer:</b> Mr Buyer	<b>Real Estate Professional:</b>

**Comment Key or Definitions**

The following are definitions of comment descriptions in this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (I)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Deficiency (D)** = The item, component or unit is not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Type of building:**

Single family, two story, with attached garage

**In Attendance:**

Customer

**Approximate age of building:**

Under 5 Years

**Home faces (general direction):**

West

**Home is:**

Vacant

**Temperature:**

80 to 90 degrees

**Weather:**

Light Rain, Heavy Rain

**Rain in last 3 days:**

Yes

## Summary

### Customer

Mr Buyer

### Address

Buyers Row  
Our Town TX

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## I. STRUCTURAL SYSTEMS

### General Summary

#### Grading and Drainage

##### Deficient

- Grade improvements are needed to direct run off away from the foundation at the left side and rear of the home. Code requires six inches minimum of fall from the foundation in the first ten feet of grade. Improper grading may promote unstable foundation conditions and water penetration into the home. Improvements should be undertaken by professional landscaper.
- Soil erosion from runoff from the roof at the rear of the home was observed. It is recommend to make improvements, such as gutters or landscape design, to control the runoff and limit soil erosion.

#### Roof Structures and Attics

##### Deficient

- Attic framing appears to be installed and functioning as intended with no major defects observed.
- The attic space is not insulated. The insulation was never installed.
- The bottom section of the folding attic stairway is cut to an improper length. This condition places additional stress on the ladder system making it unsafe to use. Repairs should be undertaken.
- The attic space has inadequate or missing venting at the roof. Venting is required and necessary to remove heat and humidity from the attic space. A qualified contractor should be consulted.

#### Walls (Interior and Exterior)

##### Deficient

- Notice**
  - The Client should be aware this a limited inspection based on visual observations only, most from ground level. This inspection does not include destructive testing such as substrate moisture testing, or removal of plaster to inspect suspicious areas. It is possible some deficiencies / defects may not be detected.
  - **In the Inspectors opinion, some are are in need of further testing.** At minimum, the area under the rear balcony, and the one area at the front should be tested. for excessive moisture or substrate damage. This is considered destructive testing and requires written from the property owner. Testing is performed by drilling two 1/4 of one inch holes at east test location. After the test, the hole are filled with sealant.
- A moisture relief detail is not installed under the the elevated vertical to horizontal transition at the rear of the home. Moisture relief is needed at the lower edge of elevated walls just as moisture relief is need at walls that terminate near the foundation level. Moisture relief can by created at elevated walls by installing aluminum slotted tracks designed for this purpose, or casing bead can be used to create a small opening. If not repaired structural damage in the wall may occur.



- Cracks have formed on the column below this area suggesting water intrusion into the wall system.
- 9. • At the front of the home, the kickout terminates into the window trim band. Terminating the roof edge this close to the window opening can be problematic. What appears to be evidence of water intrusion was observed at the interior.
- 10. • Damaged finish at the master bedroom rear exterior wall needs repair.
- 11. • Caulking at windows is failing. Caulking improvements should be undertaken as needed.
- 12. • Caulking at the exterior light(s) is not installed. Caulking improvements should be undertaken as needed.
- 13. • Caulking at the vent terminations is not installed. Caulking improvements should be undertaken as needed.
- 14. • Weep holes are not installed where required above the windows and along the masonry ledge at the front of the home. Weep holes should be spaced not further than 33 inches on center. Weep hole openings should be a minimum of 3/16 of one inch in diameter.
- 15. • Caulking is not installed along the top and sides of the electrical panel.
- 16. • What appears to be evidence of water intrusion was observed at the walls in the living room.

#### **Doors (Interior and Exterior)**

##### **Deficient**

- 17. • The self closing hinges at the garage entry door need adjustment to close the door. Doors between attached garages and living space are required by current standards to be self closing.
- 18. • The exterior door at the family room was observed to have the following deficiencies: door does not latch. The door should be adjusted to function properly.
- 19. • The interior door at the study has the following defects: door rubs at opposing door when closing.

#### **Windows**

##### **Deficient**

- 20. • Damaged window hardware in family room was observed.
- 21. • The glass at one window(s) in the dining room is cracked.

#### **Fireplaces and Chimneys**

##### **Deficient**

- 22. • The fireplace in the family is not suitable to burn wood. The noncombustible hearth does not extend far enough and a chimney to the exterior is not present. The bottom of the firebox is thin gauge metal. and appears to have been poorly modified from its original design. Modifications of the current fireplace will be necessary to configure the fireplace to burn wood or use gas logs . Recommend consulting with a chimney sweep about recommend modifications necessary.

## **II. ELECTRICAL SYSTEMS**

### **General Summary**

#### **Service Entrance and Panels**

##### **Deficient**

- 23. • The arc fault circuit interrupt (AFCI) located at #24 did not trip when tested. Repairs should be made by a licensed electrician.
- 24. • Damage service conductors were observed where the sheathing was cut back at the terminal connections. Damaged wires should not have nicks, cuts or other forms of damage.
- 25. • "Hot" wires terminating at breakers in the main panel enclosure are improperly colored. These wires should be red or black in color. Marking the wires with a marker is acceptable.

#### **Branch Circuits, Connected Devices, and Fixtures**

##### **Deficient**

- 26. • The receptacle at the kitchen island is installed more than 12 inches below the counter surface.
- 27. • Kitchen counter areas that are wider than 12 inches should have a receptacle installed.
- 28. • Junction box extension are needed at the kitchen counters to bring the edge of the junction box flush with the edge of the finished wall surface.

## Report Identification: Buyers Row

29. • Four or more light fixture(s) at the rear porch, the garage coach lights, second level bathroom and garage ceiling are inoperative. If the fixture does not work after replacing the bulbs, a licensed electrician should be consulted.
30. • Two receptacle(s) in the laundry room are not ground fault circuit interrupt (GFCI) protected. This condition is safety hazard that should be repaired.
31. • One switch in the game room are operated by more than one switch, commonly known as a three way switch. The fixtures on this circuit are inoperable unless the the switches are placed in a particular position. This suggests improper wiring that should be repaired.
32. • The receptacle(s) at the exterior are not ground fault circuit interrupt (GFCI) protected. This condition is safety hazard that should be repaired.
33. • One receptacle(s) in the dining room is(are) inoperative. Repairs should be performed by licensed electrician.
34. The gas piping is not properly bonded to the grounding system

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

#### General Summary

##### Heating Equipment

##### Deficient

35. • The locking mechanism for the access panel on the first level furnace does not function correctly. The lock mechanism should be repaired or replaced.

##### Cooling Equipment

##### Deficient

36. • The equipment manufacturers for the HVAC equipment should be consulted to determined if the various components installed are compatible.
  - First Level: 4 ton Goodman compressor: 5 ton ADP evaporator coil: 20" x 25" media filter: 110,000 Btu/hr Carrier Furnace: 40 amp circuit breaker for condenser
  - Second Level: 4 ton Goodman compressor: 3 ton Carrier evaporator coil: 16" x 25" media filter: 66,000 Btu/hr Carrier Furnace: 30 amp circuit breaker for condenser

#### 37. Cooling Nomenclatures

38. • Condensate drains terminate at grade near the foundation. In newer construction it is common for the drains to terminate into a sewer system.

##### Duct Systems, Chases, and Vents

##### Deficient

39. • The cooling system is equipped with a media filter at the air handler. This eliminates the need for filters in the return air registers. When media filters are installed, using filters with high MERV ratings in the return air registers excessively restricts air flow though the system. This may cause freezing or other complications.
40. • The supply ductwork is labeled R6. Per current code ductwork in attics and some other areas are required to be R8 in hot spaces such as attics using the "prescriptive method" prescribed in the International Residential Code. Reference 2012 IRC M1103.2.1. R6 ductwork is exceptable when installed as part of, and specified by an recognized energy conservation design program. Details of the design program must be posted in a designated location. This information was not located at the time of inspection.
41. • The media filter(s) at the evaporator in the attic is/are dirty. The filter(s) should be replaced.

### IV. PLUMBING SYSTEM

#### General Summary

##### Plumbing Supply Distribution Systems and Fixtures

##### Deficient

42. *EXTERIOR PLUMBING* Conditions requiring repair were observed.
  - The hose bib(s) at the left side of the home leaks at the valve stem when turned on.

43. **SECOND LEVEL HALL BATHROOM** No visible leaks were observed. The tub drain trap area was not accessible for inspection. Conditions requiring repair were observed.

- The drain stop at the left and right sink does not function properly
- Caulk / grout improvements are needed at the tub.

44. **FIRST LEVEL HALL BATHROOM** No visible leaks were observed.

- Caulk / grout improvements are needed in the shower.

45. **MASTER BATHROOM** No visible leaks were observed. The tub drain trap area was not accessible for inspection. Conditions requiring repair were observed.

- The shower basin does not drain adequately. Standing water was observed after the shower faucets have been turned off.

### Water Heating Equipment

#### Deficient

46. • The drain piping for TPR (temperature / pressure / relief) valve at the water heater is disconnected.

#### Other

#### Deficient

47. • The gas piping was not coated to prevent corrosion. Over time leaks could occur.

## V. APPLIANCES

### General Summary

#### Range Hood and Exhaust Systems

##### Deficient

48. • The range hood vent duct is missing. The range hood vent should be constructed of rigid metal duct.

#### Mechanical Exhaust Vents and Bathroom Heaters

##### Deficient

49. • The exhaust fan in the second level hall bathroom is inoperative.

---

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Bill Harvey